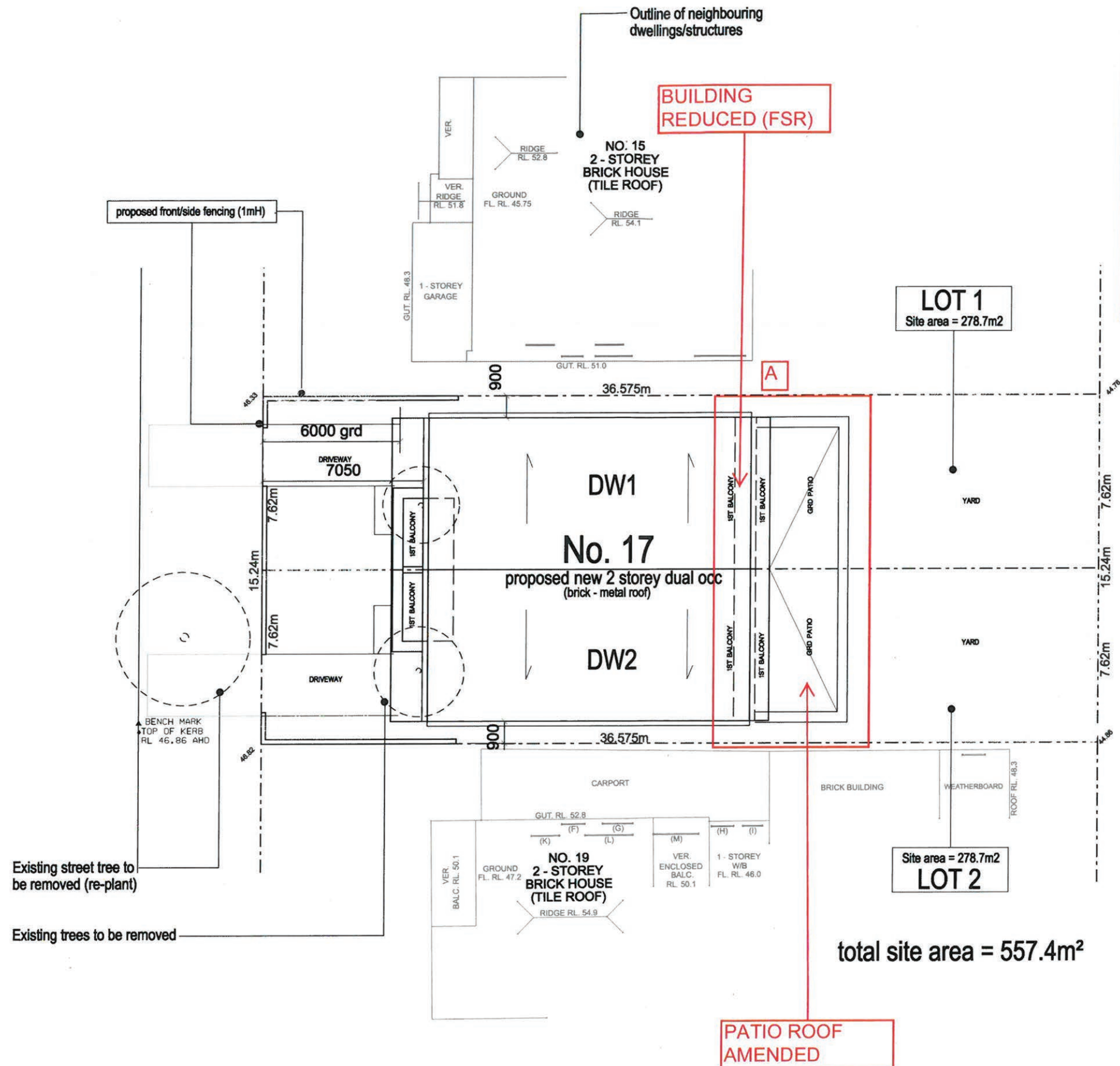


TEMPE STREET



BASIX SPECIFICATIONS (DA STAGE)

Certificate No. 687931S_03 (DW1)
Certificate No. 687932S_03 (DW2)

Rainwater tank to be installed (1500L) MIN
Connect 60m² from roof to tank (Connect to Ldry tap/connect garden)
Plant 10m² Indigenous species
Install gas instantaneous hot water system - 5 star

All windows must comply with - standard alum. single clear U-7.63, SHGC 0.75
improved aluminium, single clear (U-value:6.44, SHGC:0.75)

Construction	Additional insulation required (R-Value)	Other specifications
floor	concrete slab on ground nil	
external wall	cavity brick 1.00 (or 1.87 including construction)	
internal wall/garage	single skin masonry nil	
ceiling and roof - raked ceiling /skillion roof, framed	ceiling: 1 (up), roof: foil backed blanket (75mm)	framed; light (solar absorptance < 0.475)

Applicant to construct development in accordance with all Thermal performance specifications as set out in BASIX table;

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

*Note - Notes above relate only to links from Basix "SHOW ON DA" table



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CALCULATIONS

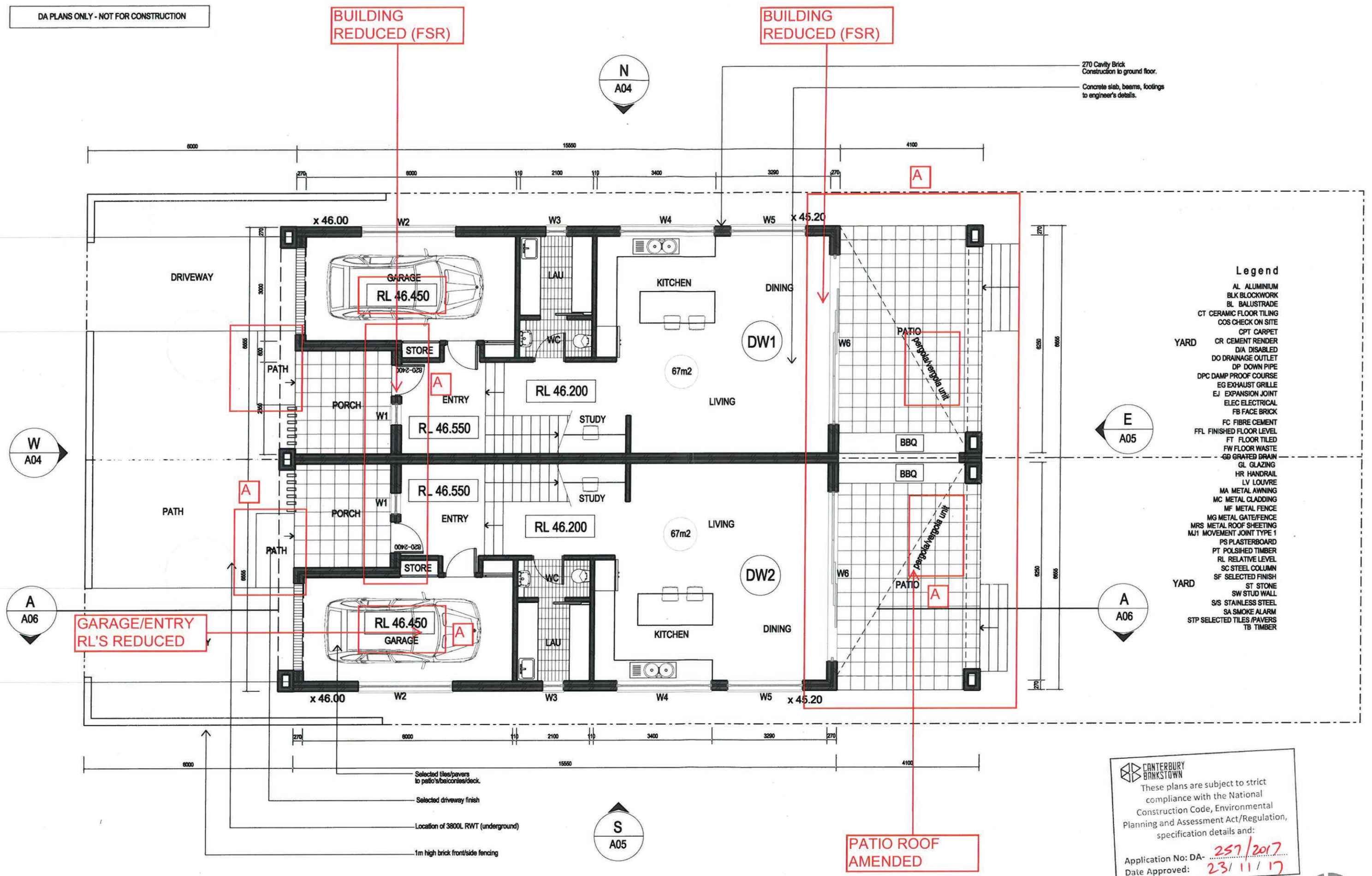
Total Site area = 557.4m²
Individual Site area = 279.2m²
Floor Space - DW 1 = 138m² DW2 = 138m²
Total = 276m² (49.5%)(50% permissible)

Site Coverage = 265m² (47%)(inc. driveway/raised balcs/footprint)
Landscaped area (soft) = 223m² (40%)

Setbacks/Heights - As noted on plans

SITE- SUBDIVISION PLAN 1:200

AMENDED PLANS - 24/07/2017 (A)

BUILDING
REDUCED (FSR)BUILDING
REDUCED (FSR)270 Cavity Brick
Construction to ground floor.
Concrete slab, beams, footings
to engineer's details.

GROUND FLOOR PLAN 1:100

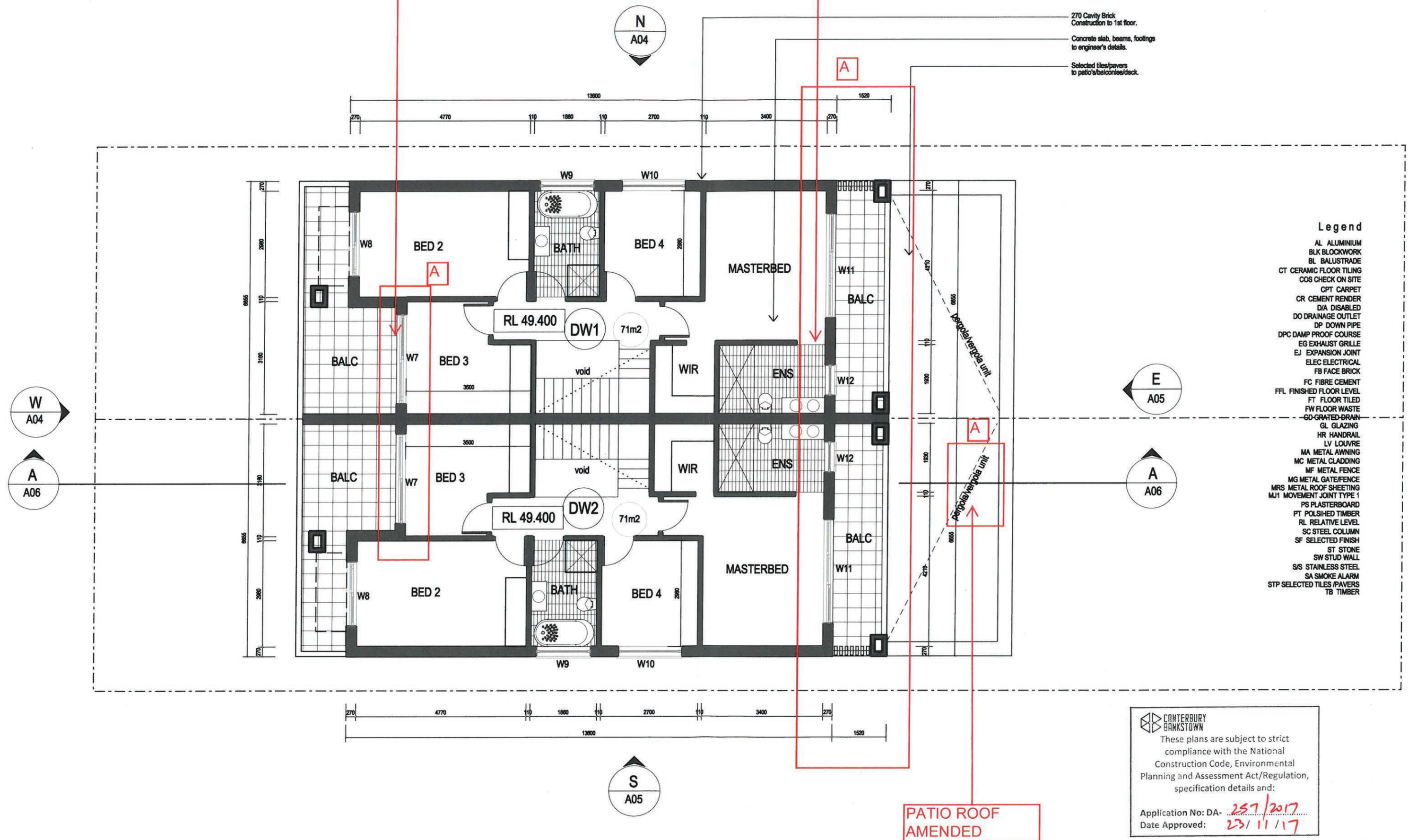
AMENDED PLANS - 24/07/2017 (A)

BUILDING
REDUCED (FSR)BUILDING
REDUCED (FSR)

270 Cavity Brick
Construction to 1st floor.

Concrete slab, beams, footings
to engineer's details.

Selected tiles/pavers
to patio's/balconies/deck.



1ST FLOOR PLAN 1:100

1ST FLOOR PLAN

P-1415-A03

- AL ALUMINIUM
- BLK BLOCKWORK
- BL BALUSTRADE
- CT CERAMIC FLOOR TILING
- COS CHECK ON SITE
- CPT CARPET
- CR CEMENT RENDER
- DIA DISABLED
- DO DRAINAGE OUTLET
- DP DOWN PIPE
- DPC DAMP PROOF COURSE
- EG EXHAUST GRILLE
- EJ EXPANSION JOINT
- ELEC ELECTRICAL
- FB FACE BRICK
- FC FIBRE CEMENT
- FFL FINISHED FLOOR LEVEL
- FT FLOOR TILED
- FW FLOOR WASTE
- GD GRATED DRAIN
- GL GLAZING
- HR HANDRAIL
- LY LOUVRE
- MA METAL AWNING
- MC METAL CLADDING
- MF METAL FENCE
- MG METAL GATE/FENCE
- MRS METAL ROOF SHEETING
- MJ1 MOVEMENT JOINT TYPE 1
- PS PLASTERBOARD
- PT POLISHED TIMBER
- RL RELATIVE LEVEL
- SC STEEL COLUMN
- SF SELECTED FINISH
- ST STONE
- SW STUD WALL
- S/S STAINLESS STEEL
- SA SMOKE ALARM
- STP SELECTED TILES/PAVERS
- TB TIMBER

Selected face brick (generally)

Selected aluminium framed
window & door units.
Powdercoat finish.Selected Glass balustrades.
Comply with BCA

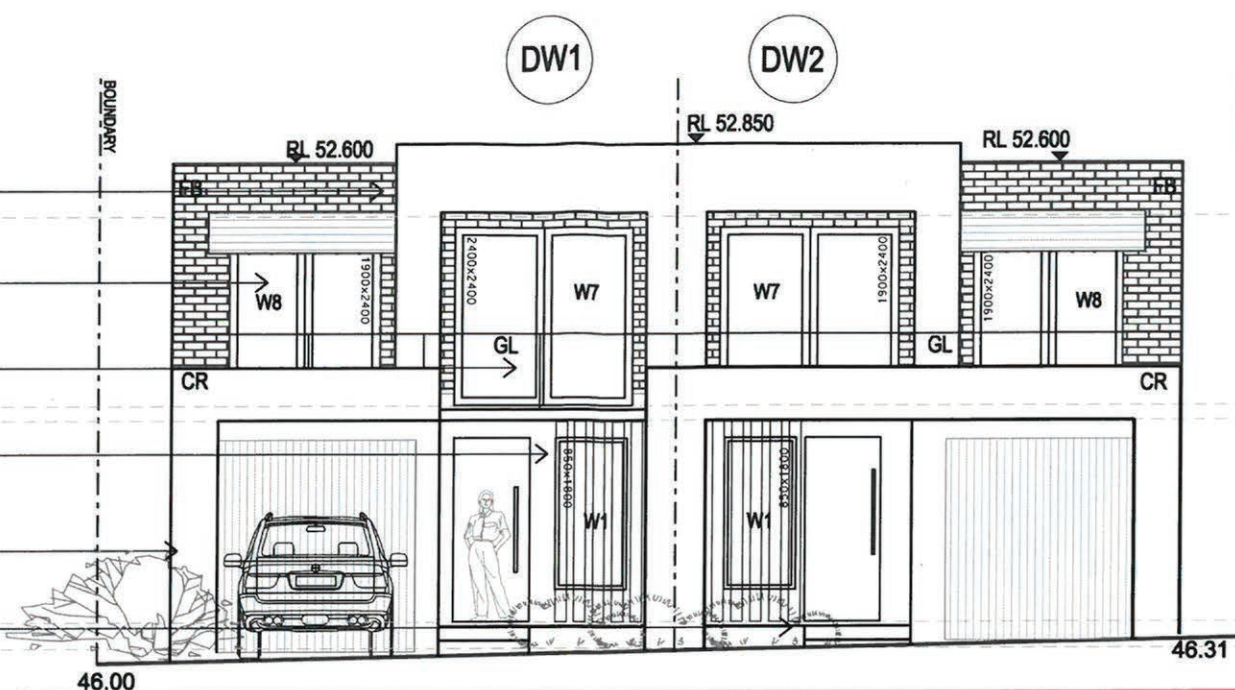
Selected Metal louvres

Cement render (to columns/beams)
Paint finish over

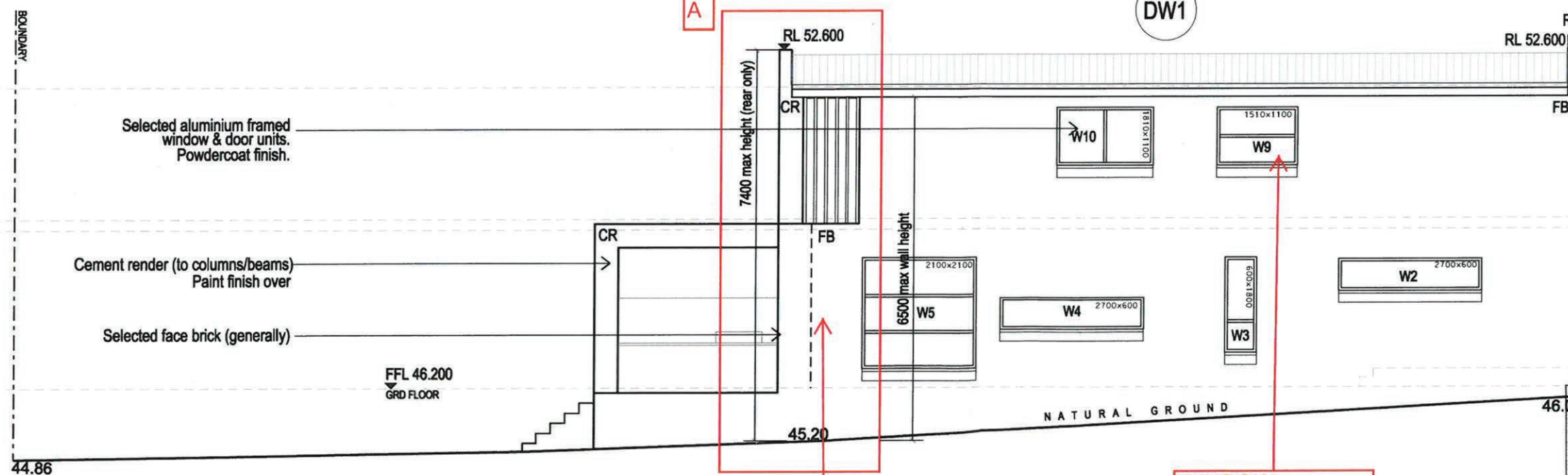
Selected garage door

WEST ELEVATION 1:100

1mH brick/render front fence



FRONT FENCE ELEV 1:100

GARAGE/ENTRY
RL'S REDUCED

NORTH ELEVATION 1:100

Selected aluminium framed
window & door units.
Powdercoat finish.Cement render (to columns/beams)
Paint finish over

Selected face brick (generally)

WINDOW
NUMBERING
ADDEDBUILDING
REDUCED (FSR)GARAGE/ENTRY
RL'S REDUCED

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Application No: DA- 257/2017
Date Approved: 23/11/17

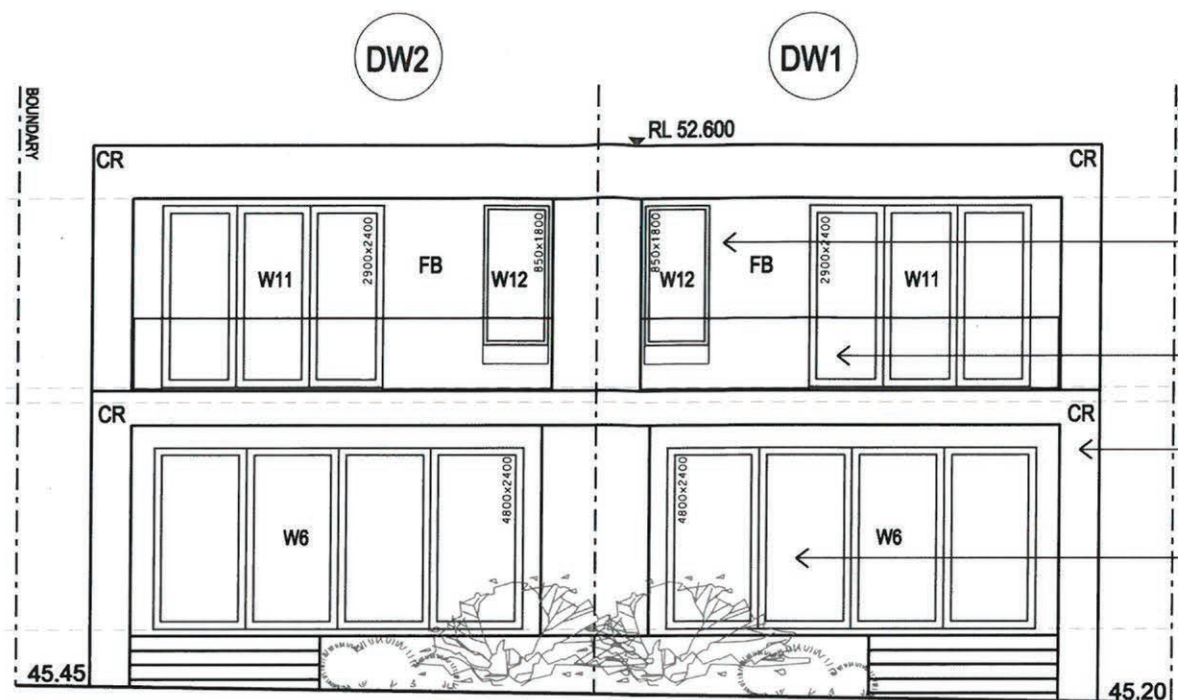
AMENDED PLANS - 24/07/2017 (A)

AL ALUMINIUM
BLK BLOCKWORK
BL BALUSTRADE
CT CERAMIC FLOOR TILING
COS CHECK ON SITE
CPT CARPET
CR CEMENT RENDER
DIA DISABLED
DO DRAINAGE OUTLET
DP DOWN PIPE
DPC DAMP PROOF COURSE
EG EXHAUST GRILLE
EJ EXPANSION JOINT
ELEC ELECTRICAL
FB FACE BRICK
FC FIBRE CEMENT
FFL FINISHED FLOOR LEVEL
FT FLOOR TILED
FW FLOOR WASTE
GD GRATED DRAIN
GL GLAZING
HR HANDRAIL
LV LOUVRE
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MF METAL FENCE
MG METAL GATE/FENCE
MRS METAL ROOF SHEETING
MJ1 MOVEMENT JOINT TYPE 1
PS PLASTERBOARD
PT POLISHED TIMBER
RL RELATIVE LEVEL
SC STEEL COLUMN
SF SELECTED FINISH
ST STONE
SW STUD WALL
S/S STAINLESS STEEL
SA SMOKE ALARM
STP SELECTED TILES/PAVERS
TB TIMBER

RL 51.900
CEILING

FFL 49.400
1ST FLOOR

FFL 46.200
GRD FLOOR



Selected face brick (generally)

Selected Glass balustrades.
Comply with BCA

Cement render (to columns/beams)
Paint finish over

Selected aluminium framed
window & door units.
Powdercoat finish.

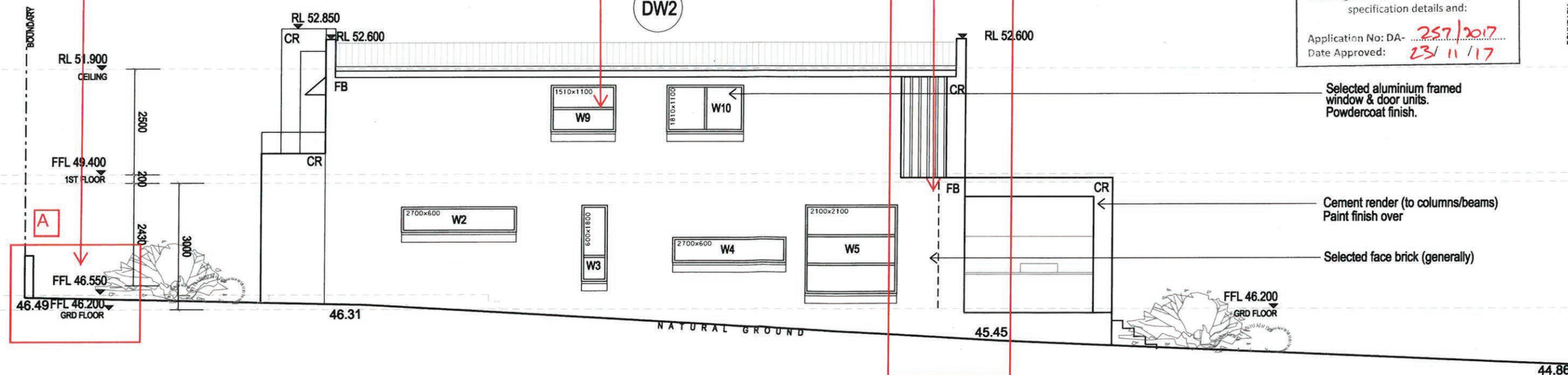
EAST ELEVATION

1:100

WINDOW
NUMBERING
ADDED

BUILDING
REDUCED (FSR)

GARAGE/ENTRY
RL'S REDUCED



CANTERBURY
BANKSTOWN
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Application No: DA- 257/2017
Date Approved: 23/11/17

Selected aluminium framed
window & door units.
Powdercoat finish.

Cement render (to columns/beams)
Paint finish over

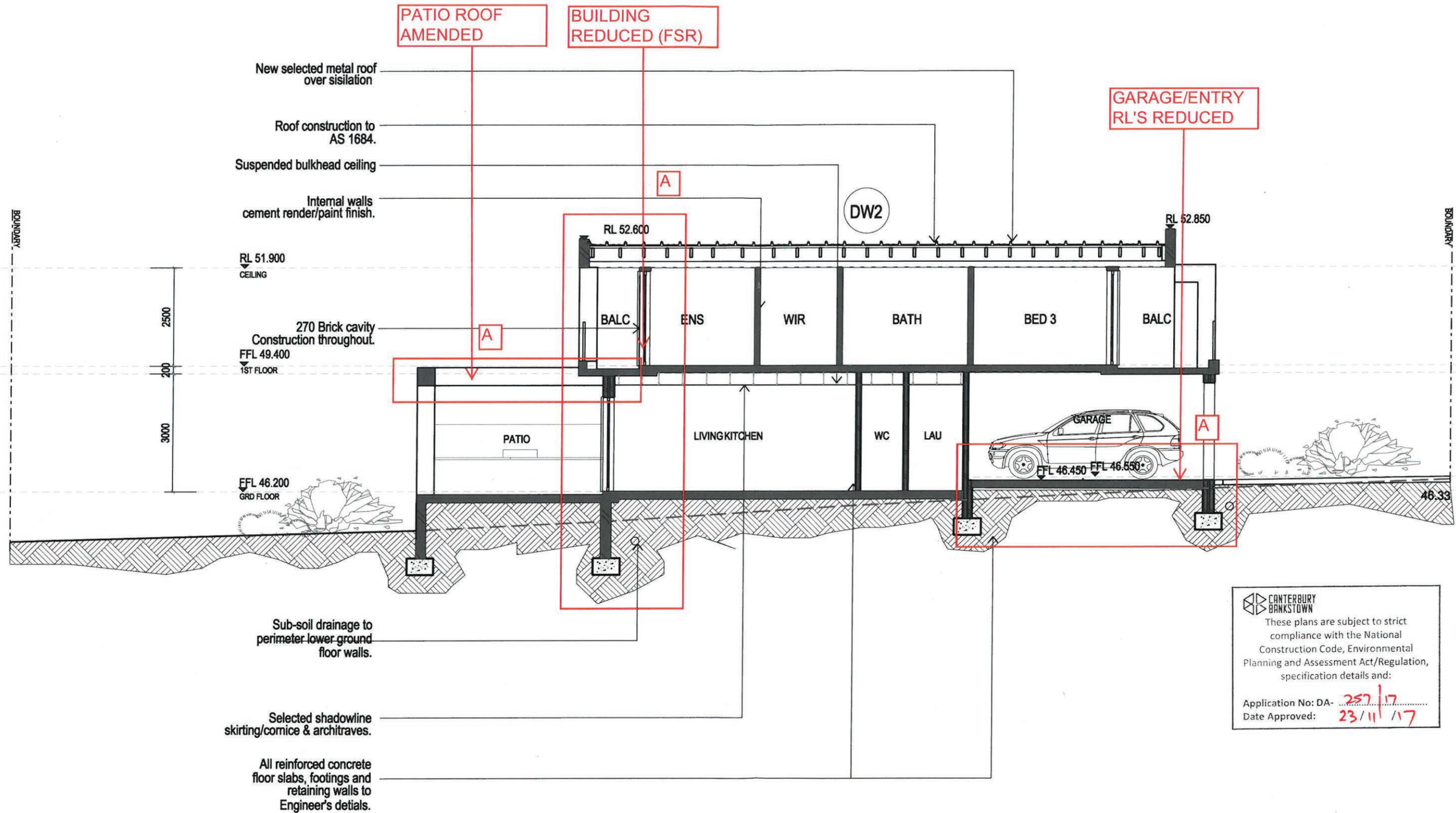
Selected face brick (generally)

SOUTH ELEVATION

1:100

AMENDED PLANS - 24/07/2017 (A)

AL ALUMINIUM
BLK BLOCKWORK
BL BALUSTRADE
CT CERAMIC FLOOR TILING
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CR CEMENT RENDER
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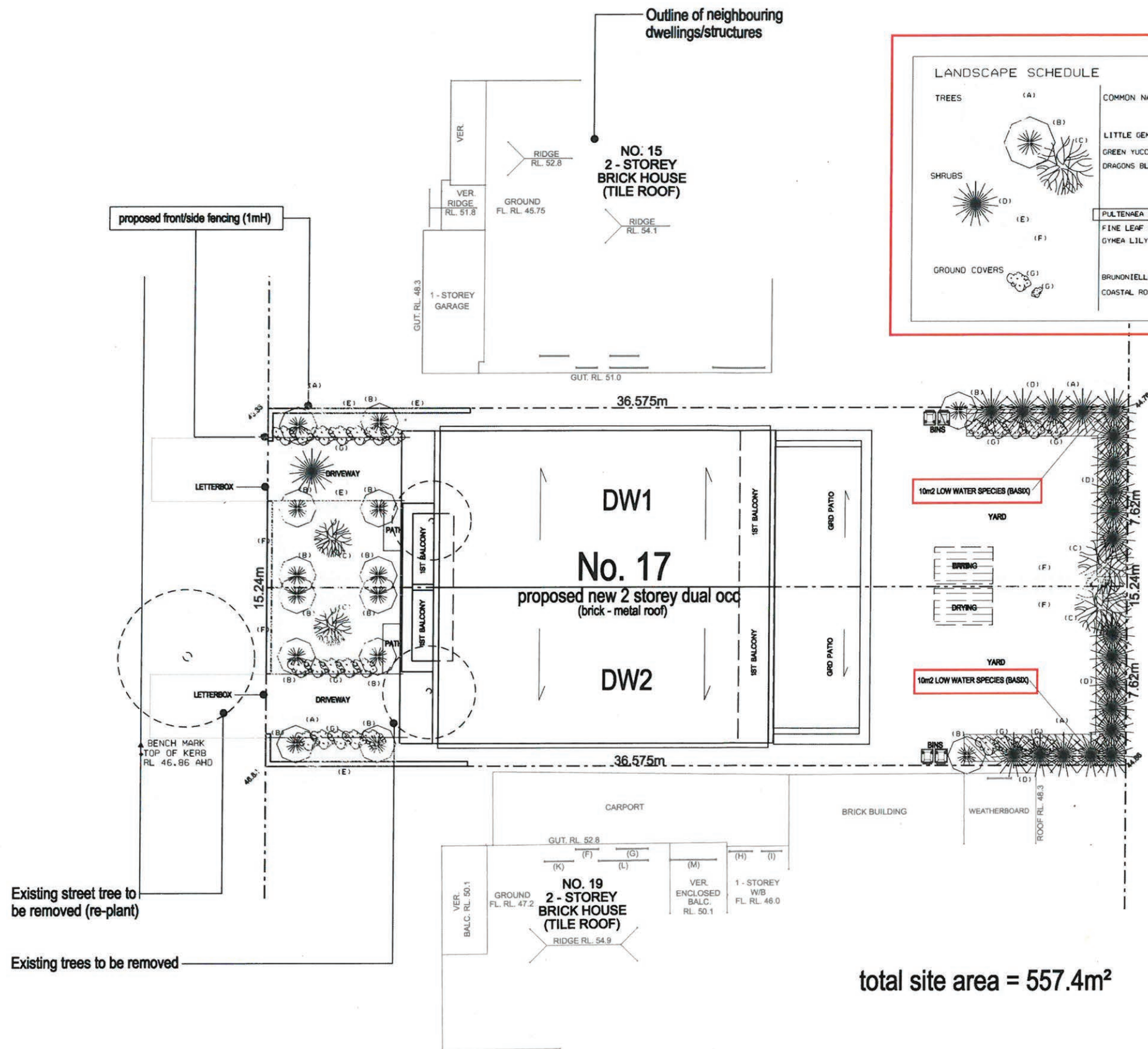
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SECTION A:A 1:100

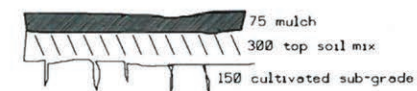
AMENDED PLANS - 24/07/2017 (A)

TEMPE STREET



LANDSCAPE SCHEDULE

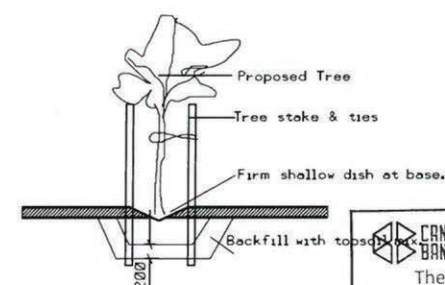
TREES	(A)	COMMON NAME	BOTANICAL NAME	NO. OF	POT SZ	HEIGHT	STAKED	FLOWER
	(B)	LITTLE GEM	MAGNOLIA LITTLE GEM	4	45LT	4M		
	(C)	GREEN YUCCA	YUCCA ELEPHANTIPES	12	45LT	3M		
	(D)	DRAGONS BLOOD TREE	DRACEANA DRACO	4	400	3M		
SHRUBS	(E)	PULTENAE VILLOSA	HAIKY BUSH PEA	20	150	1.5M		
	(F)	FINE LEAF MAT RUSH	LOMANDRA TANIKIA	20	150	.8M		
	(G)	GYMEA LILY	DORYANTHES EXCELSA	25	200	1.5M		
GROUND COVERS	(H)	BRUNONIELLA AUSTRALIS	KIDNEY WEED	28	.5	.5M		
	(I)	COASTAL ROSEMARY	FRUTICOSA	15	1	1.2M		



Planting & staking



Garden Edge



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CALCULATIONS

Total Site area = 557.4m2

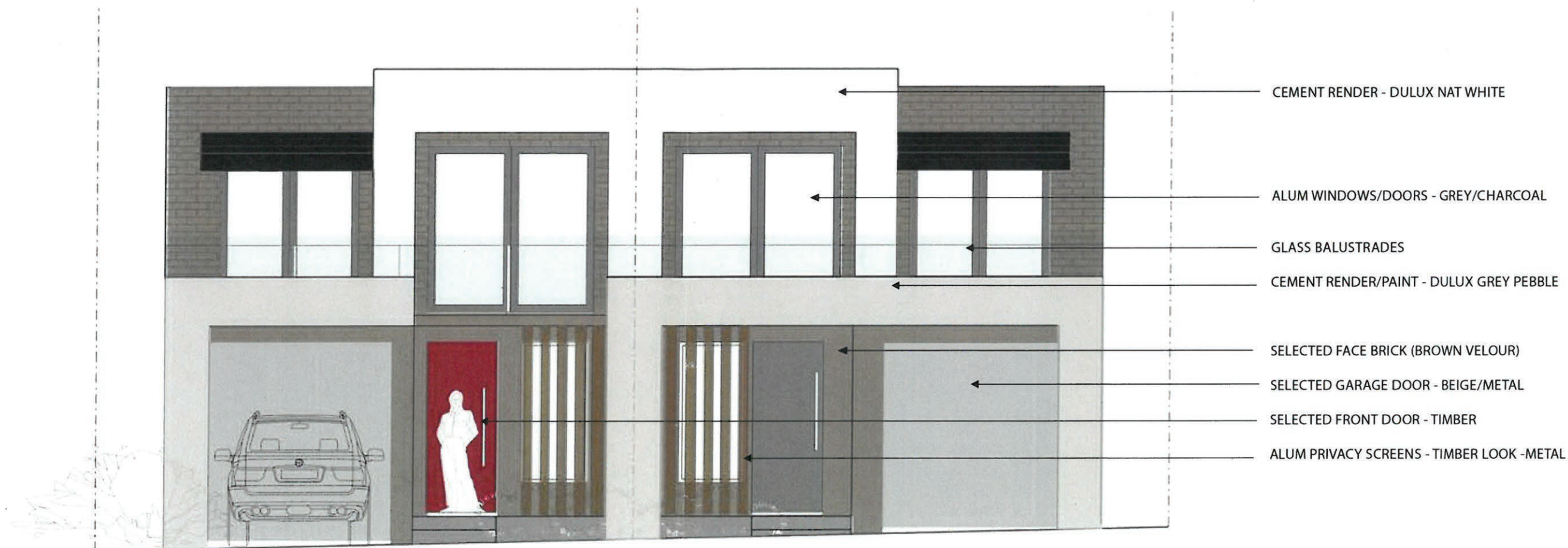
Site Coverage = 265m2 (inc dwell/patio/drive/cabana/pool) = 47%

Landscaped area = 292m2 (52%)

Landscaped area (soft/pervious) = 223m2 (40%)

LANDSCAPE CONCEPT PLAN

AMENDED PLANS 24/07/2017_(A)



PGH Pearl Brown Velour (or sim)



Render/Dulux Nat white



Render/Dulux Grey Pebble

